

Clearview Home Inspection



7 Carson Lane
Magnetawan, Ontario P0A1P0

Prepared for: Buyer

Prepared by: Clearview Home Inspection
21 Worsley Lane
Nobel, Ontario P0G1G0
HST# 84475 6890 RT0001



11:38 February 14, 2022

Marginal Summary

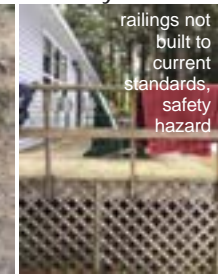
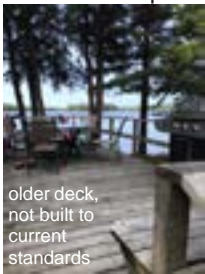
This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Lots and Grounds

1. Steps/Stoops: Wood - older wooden steps, not built to current standards, movement noted, ongoing monitoring for damage and movement will be needed to ensure the stairs remain safe to use



2. Deck: Untreated wood - deck is older wood, some wood damage noted, repair/maintenance needed, not built to current standards, will be susceptible to movement from frost and drainage, railings pose a falling hazard as children or pets can fall through gaps or off the railing seat, ongoing monitoring for safety will be needed



3. Fences: Wood - older fencing, poor condition, repair/replacement needed





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Marginal Summary (Continued)

Exterior

4. Exterior Electric Outlets: 110 VAC - all exterior outlets should be covered and GFCI protected for safety as they are exposed to water



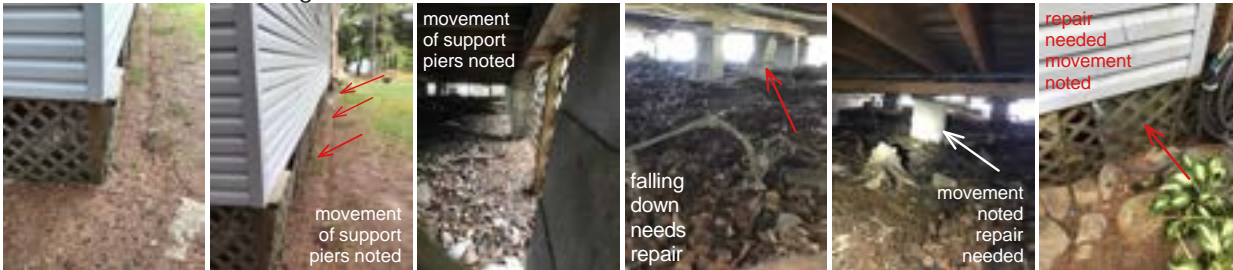
Roof

5. North Chimney Chimney: Metal pipe - chimney is too short to be used for a wood burning appliance, as discussed the chimney may be able to be used for a wood burning appliance if you can match the older chimney pipe in place if you cannot match the pipe in place the entire chimney will need replacement



Structure

6. Differential Movement: Minor cracking, Settling, erosion - most supports are showing movement, some have more need of repair than others, you stated that you consistently over the years have had to repair the supports as they move around, the longer you leave the repairs the more chance for further movement and damage to the building, when you do your renovations discuss with the contractor better drainage management options as diverting as much roof and ground drainage from the foundation, supports or under the building will help protect the cottage from movement/damage,





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Structure (Continued)

Differential Movement: (continued)



7. Piers/Posts: Block - block supports have movement noted and repair is needed, monitor and repair supports before damage is done to the building which will be difficult to recover from, supports and movement were discussed



Plumbing

8. Water Filtration: One filter - do not drink the water as there is no UV light and water filtration is not adequate



Bathroom

9. Main Bathroom Electrical: 110 VAC - outlets are not GFCI protected near the sink take care if using appliances plugged into outlets near the sink as there is no GFCI protection at outlets



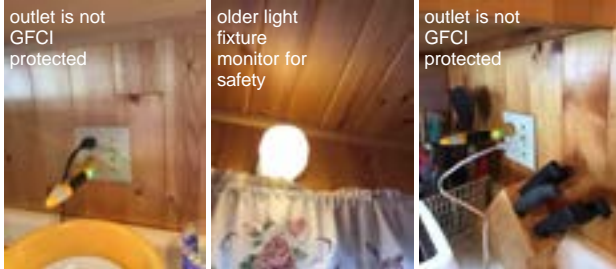


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Marginal Summary (Continued)

Kitchen

10. Main Kitchen Electrical: 110 VAC - outlets are not GFCI protected near the sink take care if using appliances plugged into outlets near the sink as there is no GFCI protection at outlets



Living Space

11. Main Living Space HVAC Source: as discussed wood stove does not meet WETT safety standards - we recommend not using the wood stove in it's current condition



Septic Information

12. Date of last pumping: Needs to be pumped - the tank needs to be pumped as there is a lot of sludge and the tank is not draining properly, discussed at time of inspection

System Evaluation

13. Method of Inspection: Flow test - 5 inch increase after 18 min, the flow test had to be stopped as the sewage level was rising too quickly and was close to overflowing, the drainage is not draining to the septic bed (if there is even a drainage bed we cannot confirm the presence of a septic bed), using the water/toilet too often will lead to back up or overflow, we recommend not using the washing machine as the drainage could cause overflow



14. Tank: Metal - older metal tank well past it's life expectancy, tank may have damage and sewage could be leaking into the ground, the condition of the tank was discussed, the tank needs replacement, taking good care of the septic may help you get some more time out of it,



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System Evaluation (Continued)

Tank: (continued)



15. Baffles: None - there are no baffles and hard waste will be getting out to the drainage bed and plugging the tube/drainage bed, this can lead to back up or overflow, the septic tank needs replacement





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Definitions

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Invoice

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Company Name: Clearview Home Inspection



Inspector Name: Roly & Sue Wight
Address: 21 Worsley Lane Nobel ON. POG1G0
Address: info@clearviewhome.ca

Address: 705 790 4999
HST#: 844756890 RT0001
Client Name: Buyer
Email Address: Buyer email
Property Address: as listed

Services Performed	Amount Due
Home Inspection	TBD
Septic Inspection	TBD
Out Buildings	TBD
HST (13%)	TBD
Total	TBD

THANK YOU!

We value the opportunity to provide you with a comprehensive inspection report essential to your purchasing decision. If you have any questions about your home inspection, please call us at 705 790 4999 or info@clearviewhome.ca.

Etransfers can be sent to info@clearviewhome.ca as well no password is required. Thanks again , Roly & Sue Wight



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General Information

Inspector Name: Roly & Sue Wight

Client Name: Buyer

Property Address: 1 Sample Dr.

Clearview Home Inspection Service Agreement

* We do not look up the existence of building permits!

I have read and understand the description of a WETT level 1 site inspection (see link).

<http://clearviewhome.ca/index.php/services/wett-certification>

1. INSPECTOR agrees to perform a visual non invasive inspection of the home/building and to provide CLIENT with a computer generated (Palm-Tech)report identifying the defects that INSPECTOR both observed and deemed material. INSPECTOR may offer comments as a courtesy, but these comments will not be part of the bargained for report.

The report is only supplementary to the sellers disclosure.

2. Unless otherwise inconsistent with this Agreement or not possible, INSPECTOR agrees to perform the inspection in accordance with the current Standards of Practice of the International Association of Certified Home Inspectors (InterNACHI) posted at <http://www.nachi.org/sop.htm>. Although INSPECTOR agrees to follow InterNACHI's Standards of Practice, CLIENT understands that these standards contain limitations, exceptions, and exclusions. CLIENT understands that InterNACHI is not a party to this Agreement and has no control over INSPECTOR or representations made by INSPECTOR and does not supervise INSPECTOR. Unless otherwise indicated below, CLIENT understands that INSPECTOR will NOT be testing for the presence of radon a colorless, odorless, radioactive gas that may be harmful to humans. Unless otherwise indicated below, CLIENT understands that INSPECTOR will NOT be testing for mold. Unless otherwise indicated in a separate writing, CLIENT understands that INSPECTOR will not test for compliance with applicable building codes or for the presence of potential dangers arising from asbestos, lead paint, formaldehyde, molds, soil contamination, and other environmental hazards or violations.

3. The inspection and report are for the use of CLIENT only, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repair persons, and other interested parties. INSPECTOR shall be the sole owner of the report and all rights to it. INSPECTOR accepts no responsibility for use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release INSPECTOR (including employees and business entities) from any liability whatsoever. Any third parties who rely on the report in any way also agree to all provisions in this Agreement. INSPECTOR'S inspection of the property and the report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. All warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded to the fullest extent allowed by law. If any structure or portion of any structure that is to be inspected is a log home, log structure or includes similar log construction, CLIENT understands that such structures have unique characteristics that make it impossible for an inspector to inspect and evaluate them by an exterior visual inspection. Therefore, the scope of the inspection to be performed pursuant to this Agreement does not include decay of the interior of logs in log walls, log foundations or roofs or similar defects.

4. INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either



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General Information (Continued)

current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents and/or employees, for claims or damages, costs of defense or suit, attorneys fees and expenses arising out of or related to the INSPECTOR'S negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.

5. INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any agreement for such additional inspections shall be in a separate writing.

6. In the event of a claim against INSPECTOR, CLIENT agrees to supply INSPECTOR with the following: (1) written notification of adverse conditions within 14 days of discovery; and (2) access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.

7. The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims. CLIENT further understands that any legal action against InterNACHI itself allegedly arising out of this Agreement or INSPECTOR'S relationship with InterNACHI must be brought only in the District Court of Boulder County, Colorado. No such action may be filed unless the plaintiff has first provided InterNACHI with 30 days written notice of the nature of the claim. In any action against INSPECTOR and/or InterNACHI, CLIENT waives trial by jury.

8. If any court declares any provision of this Agreement invalid, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR. No change shall be enforceable against any party unless it is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.

9. Payment of the fee to INSPECTOR (less any deposit noted above) is due upon completion of the on-site inspection. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorneys fees, if any. If CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guaranty payment of the fee by the entity.

10. If CLIENT requests a re-inspection, the re-inspection is also subject to all the terms and conditions set forth in this agreement.

11. This Agreement is not transferable or assignable.



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General Information (Continued)

12. Should any provision of this Agreement require judicial interpretation, the Court shall not apply a presumption that the term shall be more strictly construed against one party or the other by reason of the rule of construction that a document is to be construed more strictly against the party who prepared it.

If unable to attend the inspection in person by opening the inspection you agree to the terms as they are pointed out in the email attached to the report.

Submitted by 108.162.112.168

Signature:



Inspection Date: 27/10/2021



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General Information (Continued)

Property Information

Property Address 7 Carson Lane



City Magnetawan State Ontario Zip P0A1P0

Client Information

Client Name Buyer

Client Address 1 Sample Street

City Parry Sound State Ontario Zip P2A2W9

Phone 111 222 3333

E-Mail rolywight@gmail.com

Inspection Company

Inspector Name Roly Wight

Company Name Clearview Home Inspection

Address 21 Worsley Lane

City Nobel Province Ontario Postal Code P0G1G0

Phone 705 790 4999

E-Mail info@clearviewhome.ca

HST # 844756890 RT0001

File Number 1793

Amount Received TBD

Conditions

Others Present Home Owner Property Occupied Occupied

Estimated Age 40+ Entrance Faces North

Inspection Date 2021-08-27

Start Time 10 AM End Time 11:30 AM

Electric On Yes

Gas/Oil On Not Applicable

Water On Yes

Temperature 20

Weather Sunny Soil Conditions Dry

Space Below Grade None

Building Type Cottage Garage Detached

Sewage Disposal Septic How Verified Visual Inspection

Water Source Lake/River/Bay How Verified Visual Inspection

Additions/Modifications We do not look up permits as part of the home inspection



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Lots and Grounds

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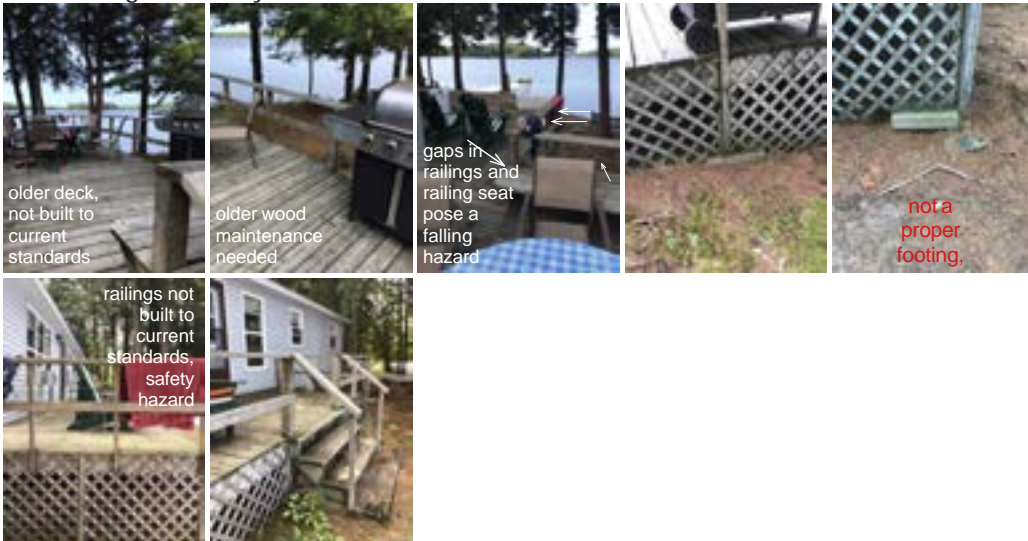
1. Acceptable Driveway: Earth



2. Marginal Steps/Stoops: Wood - older wooden steps, not built to current standards, movement noted, ongoing monitoring for damage and movement will be needed to ensure the stairs remain safe to use



3. Marginal Deck: Untreated wood - deck is older wood, some wood damage noted, repair/maintenance needed, not built to current standards, will be susceptible to movement from frost and drainage, railings pose a falling hazard as children or pets can fall through gaps or off the railing seat, ongoing monitoring for safety will be needed





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Lots and Grounds (Continued)

4. Acceptable Grading: Flat - monitor for water pooling around the building, divert as much drainage as possible and manage the rest to do the least amount of damage as possible



5. Acceptable Vegetation: Trees - trees will have to be monitored to ensure they do not present a hazard to the buildings or cars in the driveway, branches overhanging shingles can lead to early shingle damage and should be cut back



6. Marginal Fences: Wood - older fencing, poor condition, repair/replacement needed



Exterior

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- | | |
|---------------|--|
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Main Exterior Surface



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Exterior (Continued)

1. Acceptable Type: Vinyl siding



2. Acceptable Trim: Vinyl
3. Acceptable Fascia: Aluminum
4. Acceptable Soffits: Aluminum



5. Acceptable Entry Doors: Metal, Wood - monitor doorways for gaps that could allow heat loss or moisture intrusion



6. Acceptable Windows: Various - older wood windows appear in good condition for their age, older vinyl windows are present as well and appear to be opening and closing, ensure exterior window areas remain in good condition to help prevent leaking or moisture intrusion





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Exterior (Continued)

Windows: (continued)



7. Acceptable

Window Screens: Metal, Vinyl mesh



8. Acceptable

Exterior Lights: Surface mount



9. Marginal

Exterior Electric Outlets: 110 VAC - all exterior outlets should be covered and GFCI protected for safety as they are exposed to water



all exterior outlets should be GFCI protected for safety as outlets are exposed to water



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Exterior (Continued)

10. Acceptable Hose Bibs: Rotary



11. Not Present Gas Meter:

Roof

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Main Roof Surface

- 1. Method of Inspection: Ground level
- 2. Not Inspected Unable to Inspect: 30%



3. Acceptable Material: Asphalt shingle



- 4. Type: Gable
- 5. Approximate Age: 10



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Roof (Continued)

6. Acceptable Plumbing Vents: ABS - monitor flashing/caulking around the plumbing vent for damage that could lead to moisture intrusion into the home



7. Acceptable Electrical Mast: Mast Only - monitor shingles around mast for damage or lifting that could lead to moisture intrusion



8. Not Present Gutter System: diverting roof drainage with a proper gutter system will help protect siding, structural components at ground level and help prevent water under the building - roof drainage will pool around and under the building which will lead to added water under the building, ground/roof drainage under the building will lead to damage and movement of support piers

North Chimney

9. Marginal Chimney: Metal pipe - chimney is too short to be used for a wood burning appliance, as discussed the chimney may be able to be used for a wood burning appliance if you can match the older chimney pipe in place if you cannot match the pipe in place the entire chimney will need replacement



10. Acceptable Flue/Flue Cap: Metal
11. Not Inspected Chimney Flashing: appears in decent condition from inspection done at ground level - ensure flashing remains intact and does not lift or get damaged, damaged flashing can lead to moisture intrusion around the chimney areas



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Garage/Carport

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Detached Garage

1. Type of Structure: Detached Car Spaces: 1

2. Acceptable Garage Doors: Metal



3. Acceptable Door Operation: Manual

4. Acceptable Exterior Surface: Vinyl siding



5. Acceptable Windows: Vinyl



6. Acceptable Roof: Asphalt shingle - accumulation of tree debris will lead to early shingle deterioration and damage, monitor shingles for any damage or moss build up, zinc strips can be applied if moss build up is noted



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Garage/Carport (Continued)

Roof: (continued)



7. Not Present

Gutter System: monitor roof drainage and if you feel a gutter system would be a worthwhile investment have one installed

8. Acceptable

Roof Structure: 2x6



9. Acceptable

Service Doors: Wood



10. Acceptable

Walls: Exposed framing - clutter and storage limit full inspection



11. Acceptable

Floor/Foundation: Concrete block, Poured concrete



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Garage/Carport (Continued)

Floor/Foundation: (continued)



12. Acceptable

Electrical: 110 VAC



13. Not Present

Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home

14. Not Present

Heating:

Electrical

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1. Service Size Amps: 100 Volts: 110-240 VAC

2. Acceptable Service: Copper



3. Not Present

Back Up Power System:



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Electrical (Continued)

4. Acceptable 120 VAC Branch Circuits: Copper



5. Acceptable 240 VAC Branch Circuits: Copper

6. Not Present Aluminum Wiring: Not present in area's inspected

7. Acceptable Conductor Type: Romex

8. Not Inspected Ground: Unable to confirm ground rod.

Recessed in wall Electric Panel

9. Acceptable Manufacturer: Amalgamated

10. Maximum Capacity: 100 Amps

11. Acceptable Main Breaker Size: 100 Amps

12. Not Present Breakers:

13. Acceptable Fuses: Blade type, Screw type



14. Not Present AFCI:

15. Not Present GFCI:

16. Is the panel bonded? Yes

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Structure (Continued)

1. Acceptable Structure Type: Wood frame



2. Not Inspected Foundation: Block supports - see comments under differential movement and piers



3. Marginal Differential Movement: Minor cracking, Settling, erosion - most supports are showing movement, some have more need of repair than others, you stated that you consistently over the years have had to repair the supports as they move around, the longer you leave the repairs the more chance for further movement and damage to the building, when you do your renovations discuss with the contractor better drainage management options as diverting as much roof and ground drainage from the foundation, supports or under the building will help protect the cottage from movement/damage,





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Structure (Continued)

4. Acceptable Beams: Bonded wood



5. Not Inspected Bearing Walls: Frame

6. Acceptable Joists/Trusses: 2x8



7. Marginal

Piers/Posts: Block - block supports have movement noted and repair is needed, monitor and repair supports before damage is done to the building which will be difficult to recover from, supports and movement were discussed



8. Not Present Floor/Slab: dirt



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Attic

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Main Attic

1. Method of Inspection: From the attic access
2. Not Inspected Unable to Inspect: 40%



3. Acceptable Roof Framing: 2x4



4. Acceptable Sheathing: Strand board



5. Acceptable Ventilation: Gable
6. Acceptable Insulation: Batts





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Attic (Continued)

- 7. Acceptable Insulation Depth: 3" - amount of insulation is adequate for three season use, if you want to use the building year round we would recommend adding insulation
- 8. Acceptable Vapor Barrier: Plastic
- 9. Acceptable Rodents: Some signs of rodent activity, assess for and secure any rodent entry points - not a lot of rodent damage noted
- 10. Acceptable Moisture Penetration: No large amount of staining noted at the time of inspection



Plumbing

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- 1. Acceptable Service Line: Lake draw system - very basic rudimentary three season water system,



monitor water lines for damage or displacement

- 2. Acceptable Water Lines: Copper
- 3. Marginal Water Filtration: One filter - do not drink the water as there is no UV light and water filtration is not adequate





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Plumbing (Continued)

4. Not Present Main Water Shutoff: we did not see a main water shut off - there is likely a main shut off valve that we did not see, there are no under sink shut off valves visible for kitchen/bathroom taps, the toilet does have a shut off valve



5. Acceptable Drain Pipes: ABS - ensure drain pipes remain adequately supported and on at least a 5% downward grade to the septic tank



Utility Room Water Heater

6. Acceptable Water Heater Operation: Adequate - hot water was present at the taps



7. Type: Electric Capacity: 108L

8. Approximate Age: 10 Area Served: Whole building

9. Acceptable TPRV and Drain Tube: Copper TPRV valve, no drain tube - there is always a possibility (does not happen often) that a hot water heater can malfunction and steam and hot water can blow off through the TPRV valve, a drainage tube would divert drainage to the floor level which would help decrease any chance of injury, the water can still cause damage to flooring etc... (you can divert drainage to under the cottage from the drainage tube)





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Bathroom

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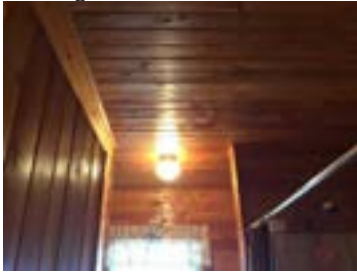
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Main Bathroom

1. Acceptable Ceiling: Wood



2. Acceptable

Walls: Wood

3. Acceptable

Floor: Vinyl floor covering



4. Acceptable

Doors: Hollow wood



5. Acceptable

Windows: Older wood single hung

6. Marginal

Electrical: 110 VAC - outlets are not GFCI protected near the sink take care if using appliances plugged into outlets near the sink as there is no GFCI protection at outlets





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Bathroom (Continued)

7. Acceptable Counter/Cabinet: Wood



8. Acceptable Faucets/Traps: See pictures



9. Acceptable Shower/Surround: Metal tub with vinyl composite board



10. Acceptable Toilets: suggest low volume dual flush toilet as it would use less water and put less water to the septic



11. Acceptable Ventilation: Window - there is no bathroom fan the only ventilation source for the bathroom is the window, monitor the bathroom area for moisture build up and damage and improve ventilation (add a bathroom fan properly vented to the exterior of the home not the attic)



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Kitchen

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Main Kitchen

1. Not Inspected Cooking Appliances: Westinghouse



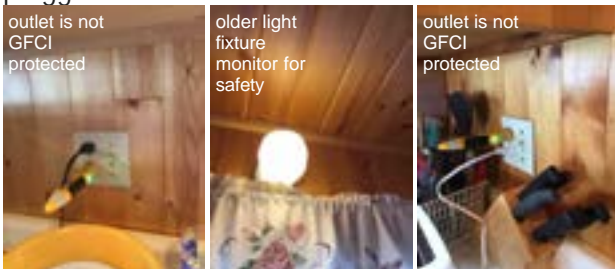
2. Not Inspected Refrigerator: appears to be working as it should



3. Acceptable Sink: Stainless Steel - older plumbing, no shut off valves



4. Marginal Electrical: 110 VAC - outlets are not GFCI protected near the sink take care if using appliances plugged into outlets near the sink as there is no GFCI protection at outlets





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Kitchen (Continued)

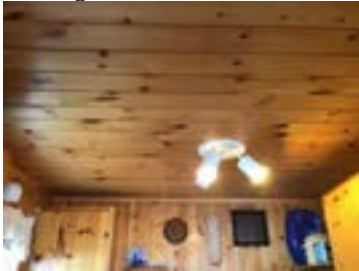
5. Acceptable Counter Tops: Laminate



6. Acceptable Cabinets: Older wood



7. Acceptable Ceiling: Wood



8. Acceptable Walls: Wood
9. Acceptable Floor: Manufactured flooring



10. Acceptable Doors: Wood and screen - monitor for gaps that would allow heat loss or moisture intrusion





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Kitchen (Continued)

11. Not Inspected Windows: Vinyl



12. Not Present HVAC Source:

Bedroom

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

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Not Present Item not present or not found.

Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Marginal Item is not fully functional and requires repair or servicing.

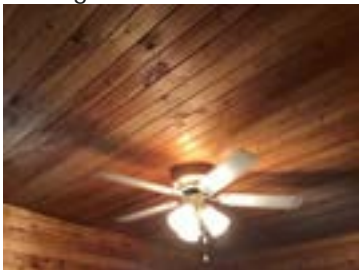
Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

End Bedroom

1. Acceptable Closet: Single



2. Acceptable Ceiling: Wood



3. Acceptable Walls: Wood



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Bedroom (Continued)

Walls: (continued)



4. Acceptable

Floor: Manufactured flooring

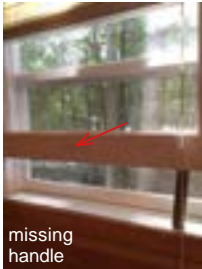


5. Acceptable

Doors: Hollow wood

6. Acceptable

Windows: Wood single hung



7. Acceptable

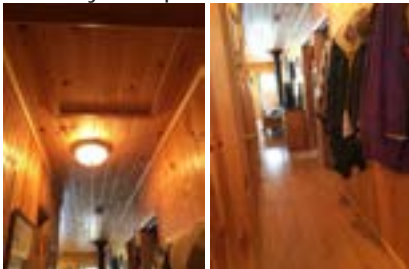
Electrical: 110 VAC

8. Not Present

HVAC Source:

9. Acceptable

Hallway See pictures



Middle Bedroom



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Bedroom (Continued)

10. Acceptable Ceiling: Soft tile



11. Acceptable Walls: Wood



12. Acceptable Floor: Manufactured flooring



13. Acceptable Doors: Bi fold



14. Acceptable Windows: Older wood single hung





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Bedroom (Continued)

15. Acceptable Electrical: 110 VAC



16. Not Present HVAC Source:

17. Not Inspected Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home
Third Bedroom

18. Acceptable Ceiling: Wood



19. Acceptable Walls: Wood



20. Not Inspected Floor: Manufactured flooring





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Bedroom (Continued)

21. Acceptable Doors: Bi fold



22. Not Inspected Windows: Older wood single hung



23. Acceptable Electrical: 110 VAC



24. Not Present HVAC Source:

25. Not Inspected Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home
Last Bedroom

26. Acceptable Ceiling: Soft tile





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Bedroom (Continued)

27. Acceptable Walls: Wood



28. Acceptable Floor: Manufactured flooring



29. Acceptable Doors: Bi fold

30. Not Inspected Windows:



31. Acceptable Electrical: 110 VAC



32. Not Present HVAC Source:

33. Not Inspected Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home



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Living Space

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Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

Main Living Space

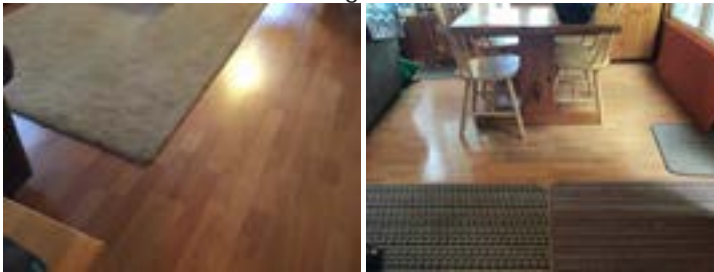
1. Acceptable Ceiling: Wood



2. Acceptable Walls: Wood



3. Acceptable Floor: Manufactured flooring



4. Acceptable Doors: Metal





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Living Space (Continued)

5. Acceptable Windows: Newer vinyl



6. Not Inspected Electrical: outlet in use



7. Marginal HVAC Source: as discussed wood stove does not meet WETT safety standards - we recommend not using the wood stove in it's current condition



8. Not Inspected Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home

Laundry Room/Area

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

- | | |
|---------------|--|
| Acceptable | Functional with no obvious signs of defect. |
| Not Present | Item not present or not found. |
| Not Inspected | Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection. |
| Marginal | Item is not fully functional and requires repair or servicing. |
| Defective | Item needs immediate repair or replacement. It is unable to perform its intended function. |

Washer only Laundry Room/Area



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Laundry Room/Area (Continued)

1. Acceptable Location hall closet



2. Acceptable Ceiling: Wood



3. Acceptable Walls: Wood

4. Not Inspected Floor: Vinyl floor covering



5. Acceptable Doors: Hollow wood

6. Not Present Windows: monitor for moisture build up when washer is in use, ensure door gets left open

7. Not Inspected Electrical: 110 VAC



8. Not Inspected Smoke Detector: ensure adequate smoke and carbon monoxide detectors are in place in the home



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Laundry Room/Area (Continued)

9. Acceptable Washer Hose Bib: Rotary



10. Not Present Dryer Vent: there is no dryer

11. Acceptable Washer Drain: Wall mounted drain - we cannot confirm where the sewage from the washing machine goes, proper disposal is to the septic system not gray water drainage or the environment, due to the poor condition of the septic we suggest not using the washing machine as the drainage from the washing machine could overflow the septic



Septic Information

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

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- Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

1. Acceptable Location: Center of rear yard





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Septic Information (Continued)

2. Acceptable Drain Field Obstructed by: Trees - root growth will interfere with septic tank and septic bed drainage



3. Not Present Septic Tank Riser: lids are easy to access
4. Marginal Date of last pumping: Needs to be pumped - the tank needs to be pumped as there is a lot of sludge and the tank is not draining properly, discussed at time of inspection
5. Is there a well on the property? No
6. Are copies of local forms attached? (If Available) No

System Evaluation

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

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Not Present Item not present or not found.
Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Marginal Item is not fully functional and requires repair or servicing.
Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

1. Marginal Method of Inspection: Flow test - 5 inch increase after 18 min, the flow test had to be stopped as the sewage level was rising too quickly and was close to overflowing, the drainage is not draining to the septic bed (if there is even a drainage bed we cannot confirm the presence of a septic bed), using the water/toilet too often will lead to back up or overflow, we recommend not using the washing machine as the drainage could cause overflow



2. Start Time: 10:00 End Time: 10:30
3. Acceptable Faucet Location - A: Kitchen
4. Acceptable Faucet Location - B: Bathroom
5. Was dye placed in the system? No

Check for leaks, proper drainage and any signs of previous system backup.



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System Evaluation (Continued)

6. Marginal

Tank: Metal - older metal tank well past it's life expectancy, tank may have damage and sewage could be leaking into the ground, the condition of the tank was discussed, the tank needs replacement, taking good care of the septic may help you get some more time out of it,



7. Acceptable

Lids: Metal - ensure the lids and area around the tank remains in good condition so no one steps on the tank and falls in or gets cut on metal edges



8. Marginal

Baffles: None - there are no baffles and hard waste will be getting out to the drainage bed and plugging the tube/drainage bed, this can lead to back up or overflow, the septic tank needs replacement



9. Not Present

Filter:



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Final Comments

This report is less detailed in comparison to the premium report still using all equipment required to complete the inspection properly but paying less attention to cosmetic damage and may only have one inspector. This is more like the type of report you would expect to get from a franchise inspection company. We use this report structure to PRICE MATCH ANY competitor (conditions apply). This report usually takes 2 hours on site and another 2 hours to edit and costs about 15-20% less. No reports are completed and emailed to you when we are on site, editing is mandatory.

This older three season cottage had most of it's components appearing to perform their intended functions at the time of inspection. The condition of the building is indicative of it's age. We do not pull surveys to see if any encroachment issues are present. We inspect the buildings only not where the property lines are in relation to the buildings.

We do not do any type of search to see if building permits have been pulled for additions/renovations or if there are any existing open permits on the home/cottage. Regulations, set backs etc.. vary from municipality to municipality and can update or change frequently. At some point if you do decide to do some work and you need to pull a permit you may run into some of the changes that have been made or updated since your cottage/home was built.

Please look over the pictures in the inspection for further clarification and read the notes as not everything is in the final comments. NOTE: some pictures are just to clarify what I am talking about and not there to show damage.

We provide a very comprehensive report which can intimidate some people. We feel it is important to report all our observations. Please do not be overwhelmed by the items listed in the report which we have listed as needing repair or maintenance. Not all these things are major, some are minor daily maintenance items you will encounter in any home. We also try to point out areas which may require future maintenance or items which if dealt with sooner rather than later may help prevent more extensive repairs. We also see your home as an investment. Repair and maintenance work must be done to maintain the value of the home so that when time comes to sell you will get maximum return on your investment. The items marked marginal may appear long, however bear in mind some items show up in different areas of the inspection and have be be marked the same in all areas they show up.

This inspection is a visual, non-invasive inspection. We cannot inspect what we cannot see.

This is an older building that has seen renovation and repair over time. Any modifications done as well as the original build will have been done with material indicative of the eras. Older building products will have been covered up, painted etc... and not visible for inspection Due to the original age of the building, some products deemed safe at the time of use however later found to be a health hazard may be in places unable to be seen or any older building products present. To determine the exact composition of any building product as well as the percentages of the substances in the product laboratory tests would have to be done or the manufacturer would have to provide the information.

Ongoing monitoring of trees will be needed to ensure trees do not pose a safety or damage hazard. Dead trees will need to be cut down before they fall down and cause damage. Cut back branches overhanging roof areas. Accumulation of tree debris on shingles will lead to early shingle deterioration and moss build up. If moss build up is noted on shingle areas there is a product available at Home Depot called Moss Boss (zinc strips) which will help get rid of existing moss (it does take time for this product to work) and help prevent moss from developing on the shingles.

Diverting drainage (roof and ground) from under the building will be important to help protect support piers from



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Final Comments (Continued)

moisture damage and movement. During spring thaw and storms monitor ground drainage to see where the drainage is going, any damage the drainage is doing or has the potential to do and assess for ways to divert the ground drainage from the cottage/home and deck area. Divert as much roof and ground drainage to help protect structural components from moisture damage and help decrease the amount of water under the building, in the crawl space or basement area. Gardens or vegetation against a home can hold water against the foundation leading to foundation damage and moisture intrusion over time. Gardens can damage siding as well and will attract bugs and rodents to the home.

Both the lids of the septic tank were exposed for the flow test. The metal lids are in acceptable condition. The tank is an old metal tank past it's life expectancy. Due to the age of the tank the metal may have deteriorated and sewage could be seeping into the ground. There is no baffle so the sludge in the tank is getting into the septic bed area which will lead to blockages in the drain field. We cannot confirm what type of drain field is in place but due to the age of the tank it is likely a small drain field well past it's life expectancy as well. A flow test (running water at two taps) was done which would normally run 30 min but had to be stopped at about 18 minutes as the sewage was building up in the tank and would have overflowed the tank if we had continued. The septic bed is not accepting the drainage likely due to being plugged with hard waste. The septic tank should be pumped or else it may overflow if a lot of people are using the cottage. The septic tank and septic bed will need replacement. By taking very good care of the septic system you may get some further life out of it. We suggest consulting a septic contractor to get an idea for replacement options and pricing. Septic regulations are quite strict in places and you may have to change the location of the tank/bed which will add to the cost. Knowing your options before it becomes an emergency replacement would be beneficial. The septic system and flow tests results were discussed at time of inspection. Ensure the metal lids and the area around the tank remains in good condition so no one falls through the tank. Due to the age of tank and the deterioration of the metal over the years added weight could cause the tank to cave in.

This paragraph is general information only. The average life expectancy for a septic system is around 20 to 40 years depending on type of installation, proper installation, use, maintenance etc.... Some systems last much longer and some require repair or replacement before 40 years. A septic system is composed of a septic tank and a septic bed. The tank and bed work together however they can be replaced separately (in your case both bed and tank need to be replaced). A septic bed is composed of runs exiting a distribution box or a header of some sort. These drainage runs make up the bed. A flow test indicates whether or not the septic bed is accepting a large volume of water and functioning. We cannot tell you what exactly your septic bed is composed of or how many runs are present (we can offer an educated guess). Septic bed runs can get blocked or damaged. We cannot tell you the condition of all the runs or if all the runs are working as a septic bed will still work with plugged runs. As long as at least one run is functioning the bed will accept the water flow. A septic system that has not been used in some time will accept the water flow at time of inspection however could still have impaired function ability with ongoing, regular use. We may be able to see some leaching or very wet areas that could indicate blocked or damaged runs. Ground water during storms and spring run off can saturate a low lying septic bed which will affect the bed's ability to accept the water flow during a flow test or regular use. The only way to know the condition of the distribution box and runs is to dig them up, that usually requires a large amount of time, digging and the use of heavy equipment.

A septic system needs to be maintained properly to help extend it's life and function ability and prevent expensive repairs. We suggest doing some research on the internet or through a septic contractor in regards to proper maintenance of your system. It is important to know what can and cannot go into your septic in terms or types of paper products (certain types of toilet paper are better, tampons and other paper products cannot go into a septic etc...). Also the type of cleaning products you use can affect the septic in a negative way. Septic tank activator products are also available to help promote proper bacterial growth in the septic tank. It is important to use products which will not damage your septic. Time used to learn about your septic as well as properly maintaining it will be time



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Final Comments (Continued)

well spent.

The garage appears solid and visible components are in satisfactory condition. Inspection is limited due to clutter and storage.

The deck and stairs are older wood and not built to current standards. Lattice limits full inspection of the area under the deck. Some repair and maintenance are needed. The gaps in the railings and the railing seat pose a falling hazard for children and pets. Monitor for water pooling under the deck as water pooling around supports can lead to erosion and movement of the supports. All decking, stairs, supports and railings will need ongoing monitoring for damage or movement that would make the areas unsafe to use. Monitor snow load and shovel as needed. In the spring assess for winter damage or movement and repair as needed. The fencing is in poor condition and needs repair or replacement.

The vinyl siding is in acceptable condition. Maintaining the integrity of the siding, soffit, fascia and trim will help prevent water, rodent and bug intrusion into the cottage. There are older wood windows which appear well maintained. Older vinyl windows are present in the living room area which appear in to be opening and closing. Ensure exterior window areas remain in good condition to help prevent leaking and moisture intrusion. The entry door was opening and closing. The side door was not inspected for function ability but appears in working condition.

Shingles were assessed from ground level and appear in satisfactory condition. Regular inspection of shingles and completion of any needed maintenance will help prolong shingle life. In the spring assess areas around the chimney, mast and plumbing vent for damaged or lifting shingles which could lead to moisture intrusion and damage. The chimney is too short to be used for a wood burning appliance. This was discussed. There is no gutter system on the roof. We would recommend a gutter system to divert roof drainage from under the building. Diverting roof and ground drainage from under the building will help protect the building and help prevent movement of the supports. A good roof drainage system is comprised of gutters, downspouts and leader extensions. Lack of a proper roof drainage system in a home will lead to damage to the exterior and foundation. Water will pool around the foundation causing damage and possibly water intrusion. Gutters must be all around the home with adequate downspouts and leader extensions which drain the water far away enough from the home. The gutters must also be kept free of debris to function effectively. Watching the foundation during spring thaw and rain storms will allow you to assess where water is pooling and corrective measures that may need to be taken.

The attic appears clean looking from the inspection done from the attic entrance. The attic area above the bedroom addition is not visible for inspection. Attics should be routinely inspected for things like moisture intrusion, rodent intrusion, moisture build up etc.... These issues if caught early can help prevent a major repair issue or damage that would affect the resale value of the home.

The cottage sits on block support piers. Some of the supports are showing movement, some supports are not touching and a couple are leaning sideways. Some are in more need of repair than others. You stated that the support piers have consistently needed repair over the years. Supports will need monitoring and should be repaired earlier rather than later to help prevent damage and movement that would be difficult to recover from. The water table is high so ground water as well as roof drainage will affect the piers. The building will have seen settling and movement over the years with the original build, any renovation, frost, snow load as well as winterization of the building. When you have a contractors out to discuss your renovation plans make sure you discuss drainage management so the new building or improved old building is well protected from damage due to ground drainage. The beam and joists appear in satisfactory condition.

Monitor any structural wood near ground level for damage from ground moisture. Ensure air flow under the building remains adequate to help dry up moisture and protect structural components.



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Final Comments (Continued)

The electric panel is an older fuse panel which appears in decent condition. The panel will need upgrading as discussed when you do your renovations. The exterior outlets are not GFCI protected and should be for safety as outlets are exposed to water. All exterior outlets should be covered and GFCI protected. The outlets at the kitchen and bathroom sink areas are not GFCI protected and should be for safety as outlets are exposed to water.

Water to the cottage comes from the lake. This is a very basic water system. An older jet pump draws water from the lake. The pump and holding tank are housed in box near the water. The holding tank is small. There is only one small filter. Do not drink the water as the filtration is not adequate and there is no UV light. If proper filtration and a UV light are put in place the water still must be tested on a regular basis if you are drinking the water to ensure the filtration/UV light are doing their job. The Health Unit only tests for bacterial contamination not any other contaminants. Private testing must be done if you are concerned about any other contaminants. There are much better options for water systems, some were discussed. Suggest investigating options available and pricing so you have some idea what you want to do. The contractor you choose to work with will have other contractors he works with that can do plumbing, electrical etc... that can offer options and pricing as well.

There are no under sink shut off valves noted for kitchen or bathroom taps. The toilet does have a shut off valve. We did not note a main water shut off, there is likely one somewhere. If not we recommend having an easily accessible main water shut off valve put in.

There is no heat source for the cottage. The wood stove does not meet WETT safety standards and should not be used. The wood stove and heating options were discussed.

The interior of the cottage has been well maintained. There is a washing machine in the hall closet. We cannot confirm where the washer drainage goes to. As per regulations the washing machine drainage should go to the septic. However given the poor condition of the septic we would recommend not using the washer as the drainage could overflow the septic. If washer drainage goes to the environment there are regulations for gray water drainage and gray water drainage pits and there will not be a proper gray water drainage pit in place.

Please ensure there are sufficient smoke detectors and carbon monoxide detectors in place. We recommend replacing older carbon monoxide and smoke detectors with new ones. At the beginning of each cottage season all smoke detectors and carbon monoxide detectors should be tested and testing should be done regularly after that. Ensure batteries are replaced as needed.

Please be aware insurance regulations for things such as stoves, water heaters, oil furnaces, fireplaces as well as other issues can change frequently and may vary from company to company. This report documents the approximate age and condition of items however you may want to consult an insurance agent to see if there are any concerns they have in regards to providing you with insurance.

When you go to do your renovations we recommend consulting a couple of contractors for options and pricing. If you can prolong the life of the septic until you are ready to do the renovation it can all be done at once. If the septic has to be done earlier make sure you tell the septic contractor your long term plans so the septic system will be able to accommodate the plans. If you lift the cottage and put in a crawl space area ensure the area is properly moisture proofed and ventilation is adequate. We recommend spending some extra to ensure the cottage has proper drainage in place as well as a crawl space area that is properly moisture proofed and ventilated. If ventilation is not adequate moisture damage and mold will occur which will lead to damage of structural components and anything housed in the area. This was discussed at time of inspection



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Final Comments (Continued)

Most of the above conditions were discussed at time of inspection however if you have further questions or concerns please do not hesitate to call or email.